

LET'S BUILD YOUR  
**DREAM  
WORLD**  
TOGETHER

3 BHK PREMIUM LIVING





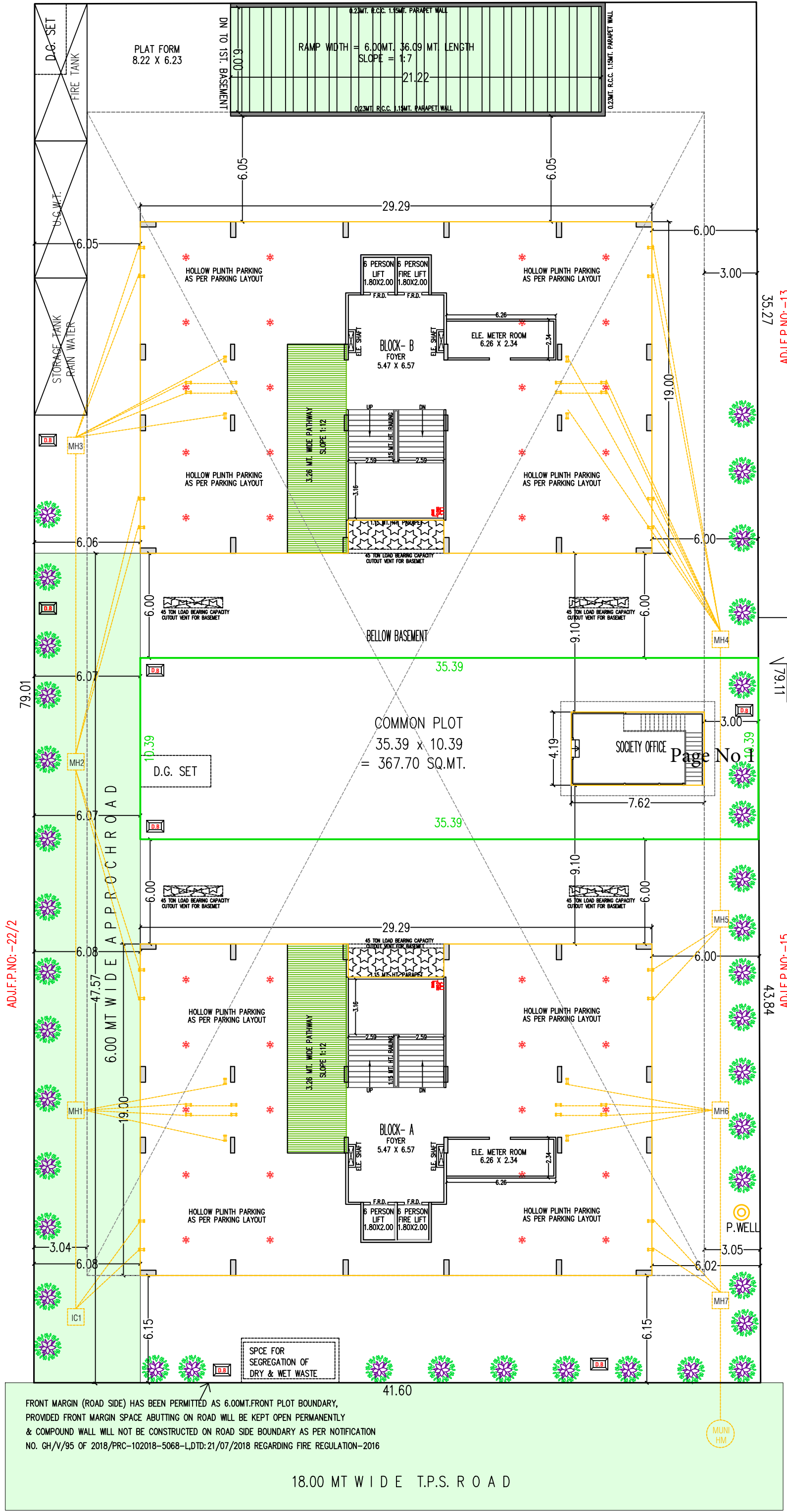
# केशव skyline



## 3 BHK PREMIUM LIVING

The beautiful keshav skyline is know for its fragrance, Colour and preciousness. We inspired by and our project resemble is unique facets.

Our project "keshav skyline" also has unmatched features like attractive elevations, Dashing designs & equipped with limitless luxury. The perfect blend make keshav skyline "spectacular architectural wonder of Ahmedabad."



ADJ.F.P.NO: -22/2

ADJ.F.P.NO: -13

ADJ.F.P.NO: 43.84

79.01

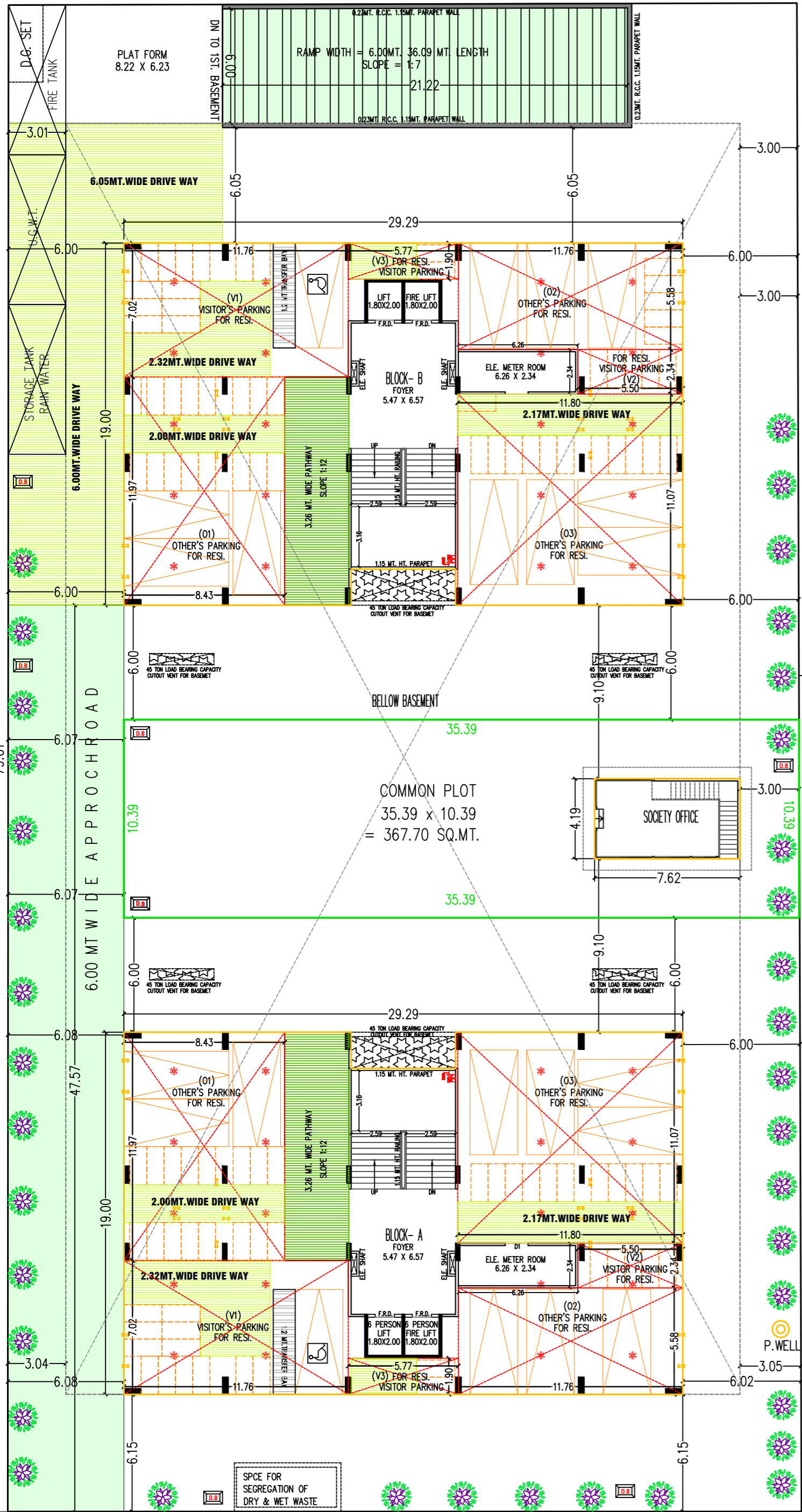
79.11

FRONT MARGIN (ROAD SIDE) HAS BEEN PERMITTED AS 6.00MT.FRONT PLOT BOUNDARY,  
 PROVIDED FRONT MARGIN SPACE ABUTTING ON ROAD WILL BE KEPT OPEN PERMANENTLY  
 & COMPOUND WALL WILL NOT BE CONSTRUCTED ON ROAD SIDE BOUNDARY AS PER NOTIFICATION  
 NO. GH/V/95 OF 2018/PRC-1022018-5068-L,DTD:21/07/2018 REGARDING FIRE REGULATION-2016

18.00 MT WIDE T.P.S. ROAD

LAYOUT PLAN  
 SCALE : 1 C.M.= 2 MT.





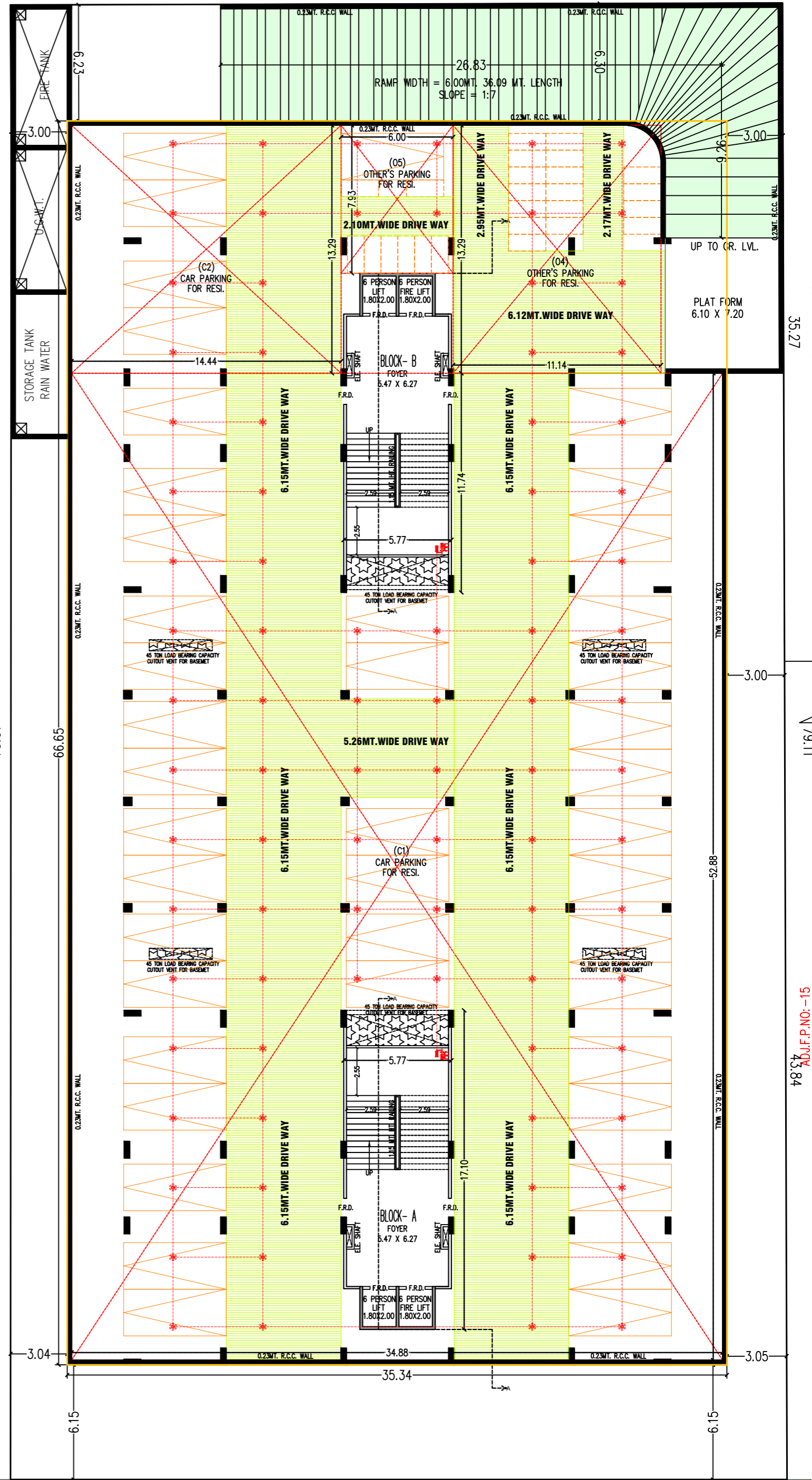
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ADJ.F.P.NO:-13

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FRONT MARGIN (ROAD SIDE) HAS BEEN PERMITTED AS 6.00MT.FRONT PLOT BOUNDARY, PROVIDED FRONT MARGIN SPACE ABUTTING ON ROAD WILL BE KEPT OPEN PERMANENTLY & COMPOUND WALL WILL NOT BE CONSTRUCTED ON ROAD SIDE BOUNDARY AS PER NOTIFICATION NO. GH/V/95 OF 2018/PRC-102018-5068-L.DTD:21/07/2018 REGARDING FIRE REGULATION-2016

PARKING LAYOUT PLAN  
SCALE : 1 C.M.= 2 MT.



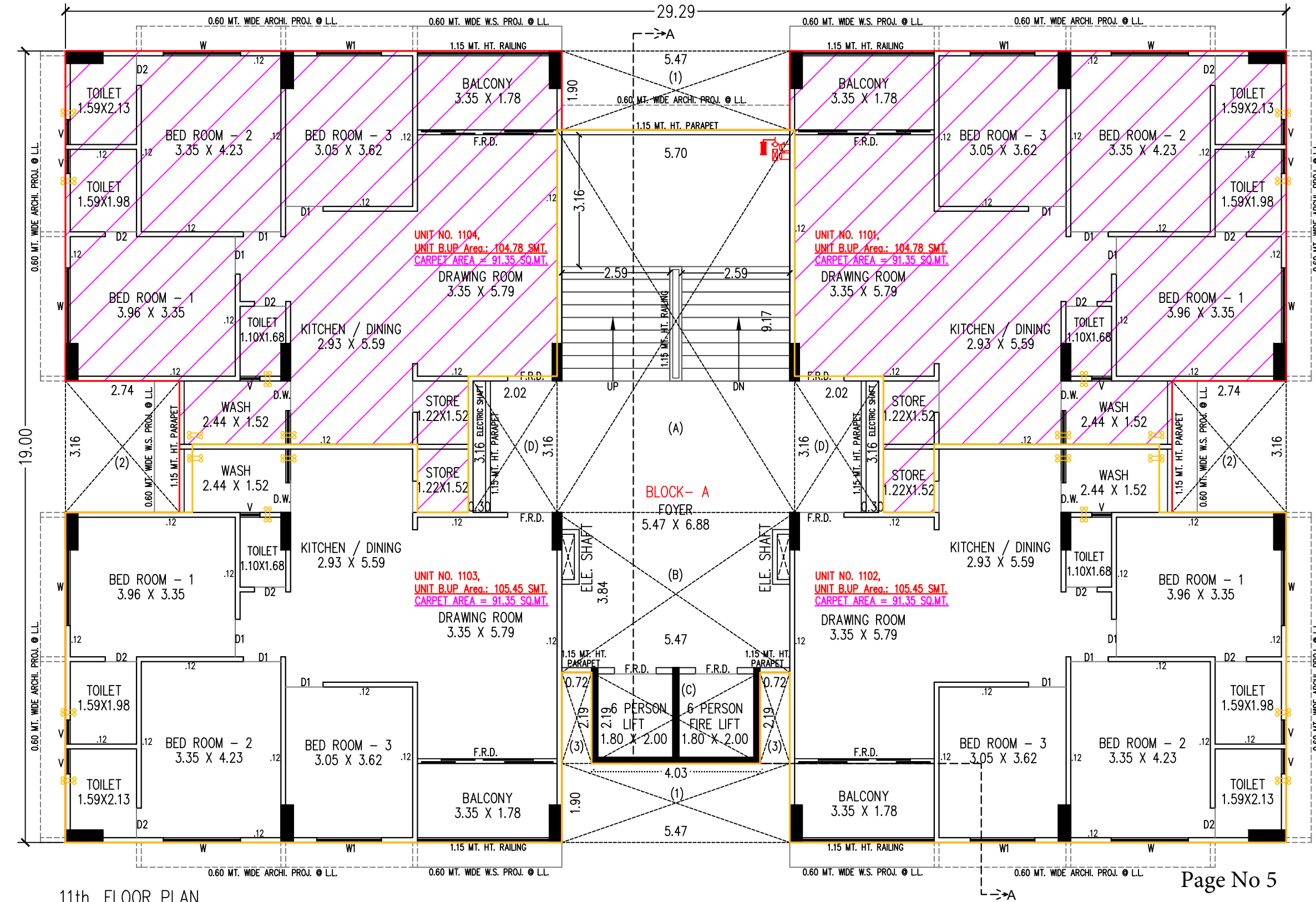
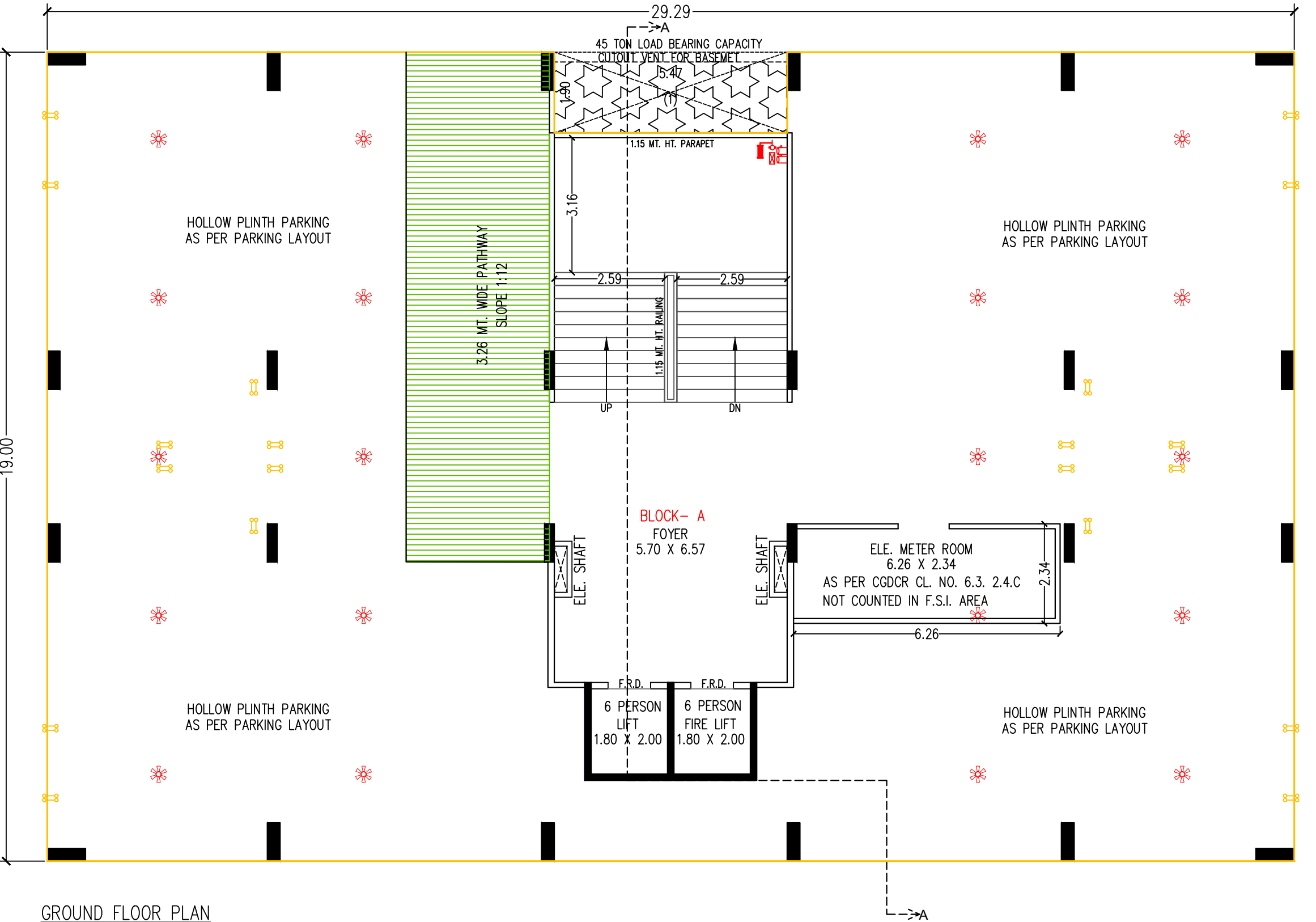
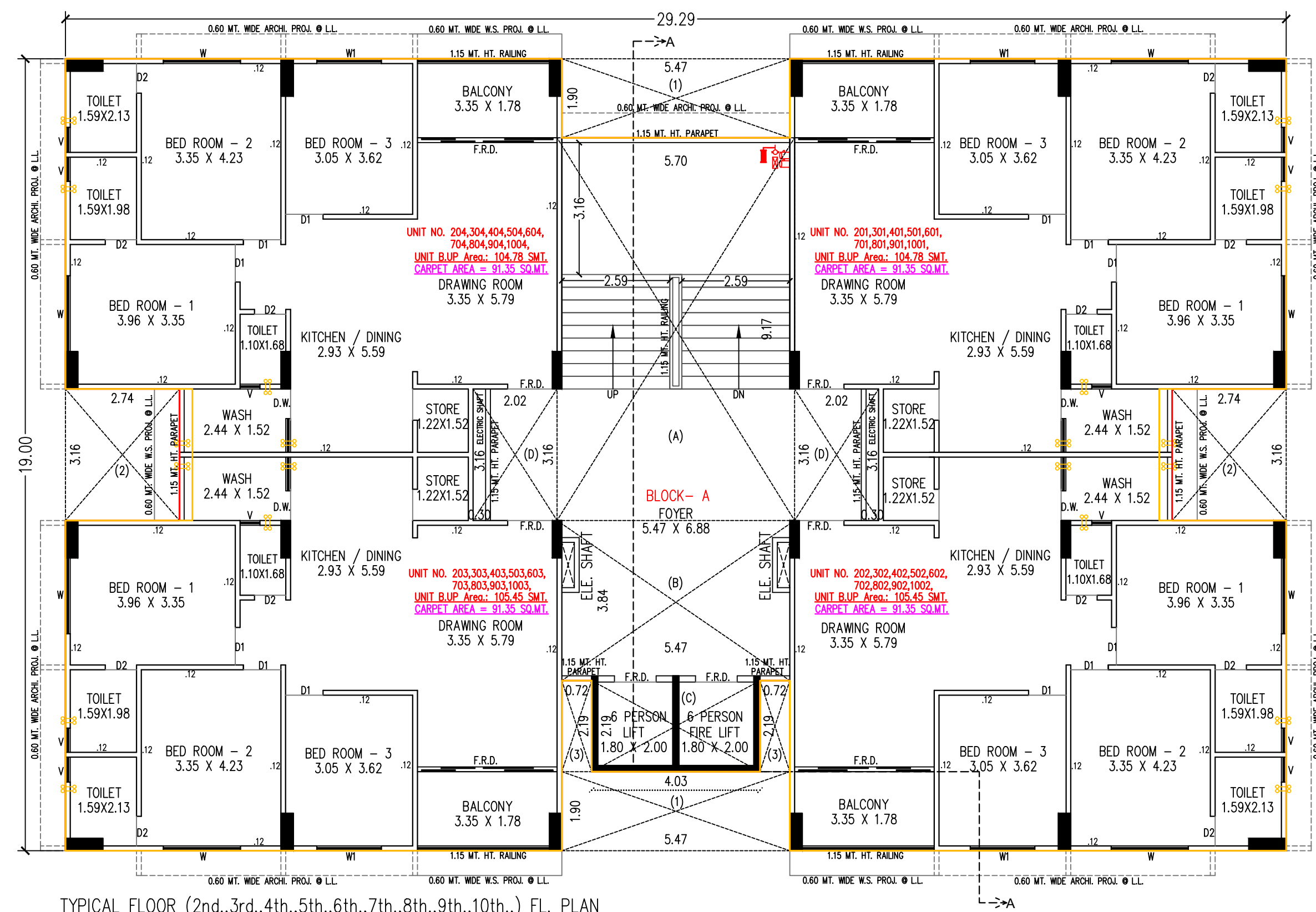
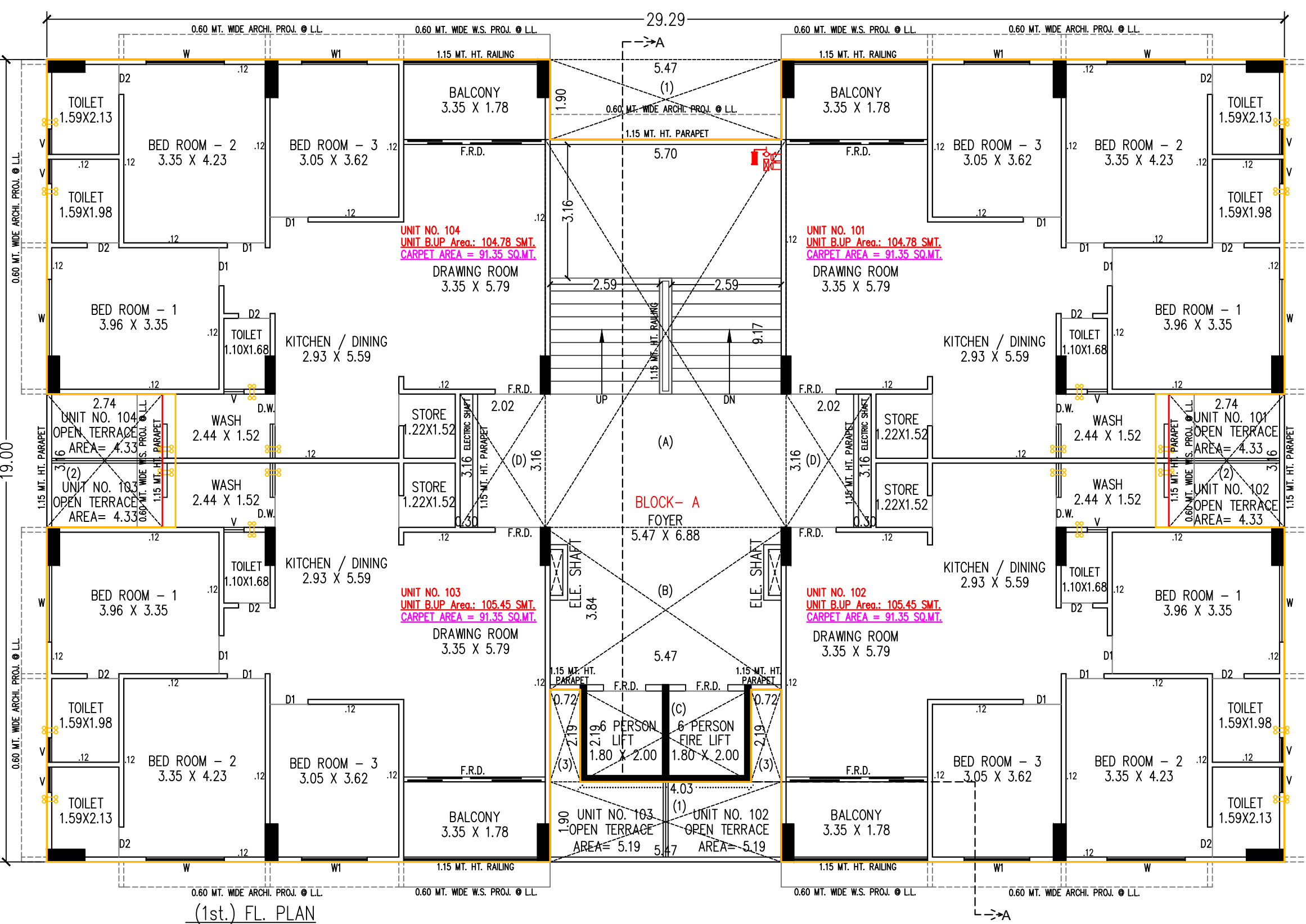
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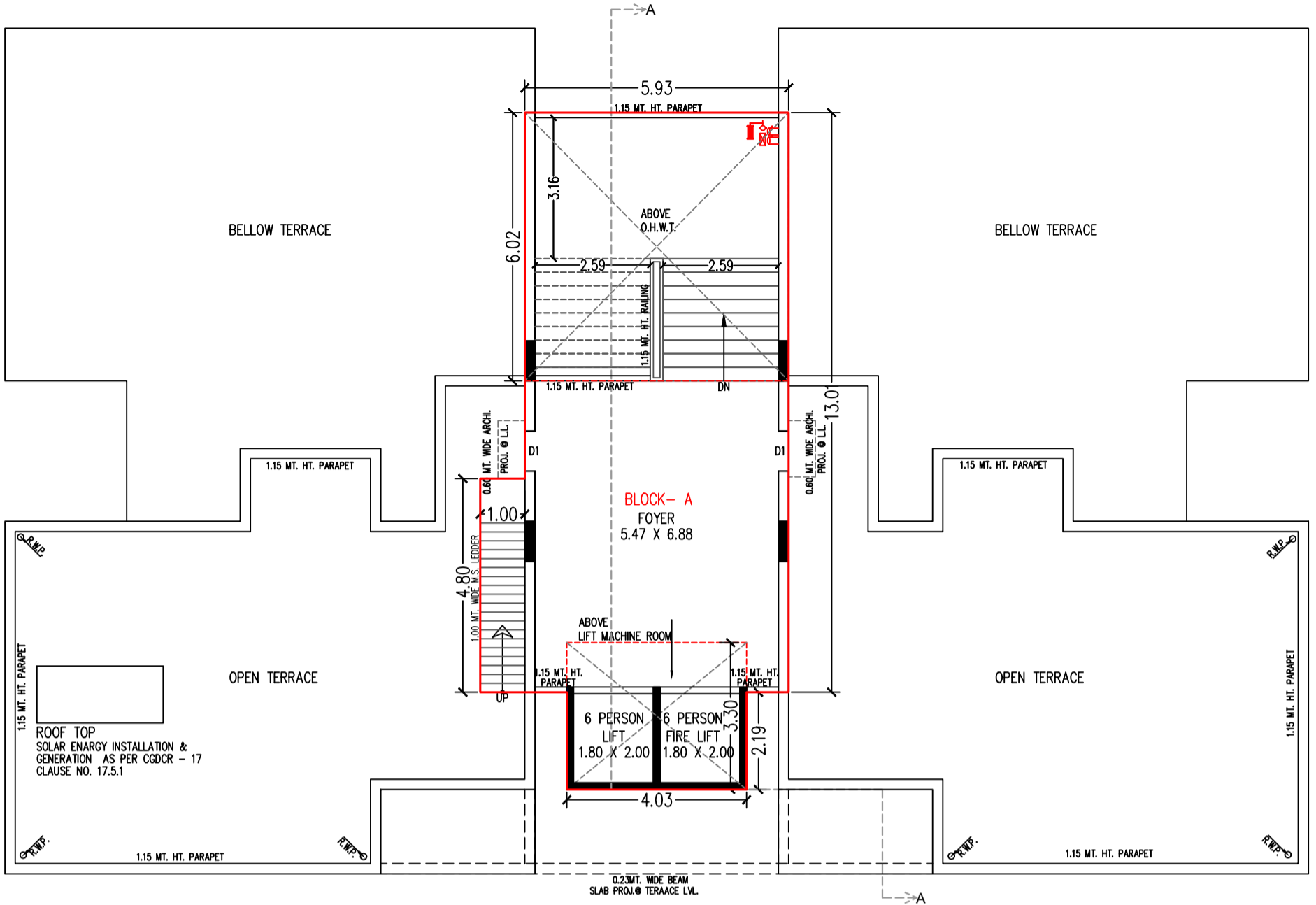
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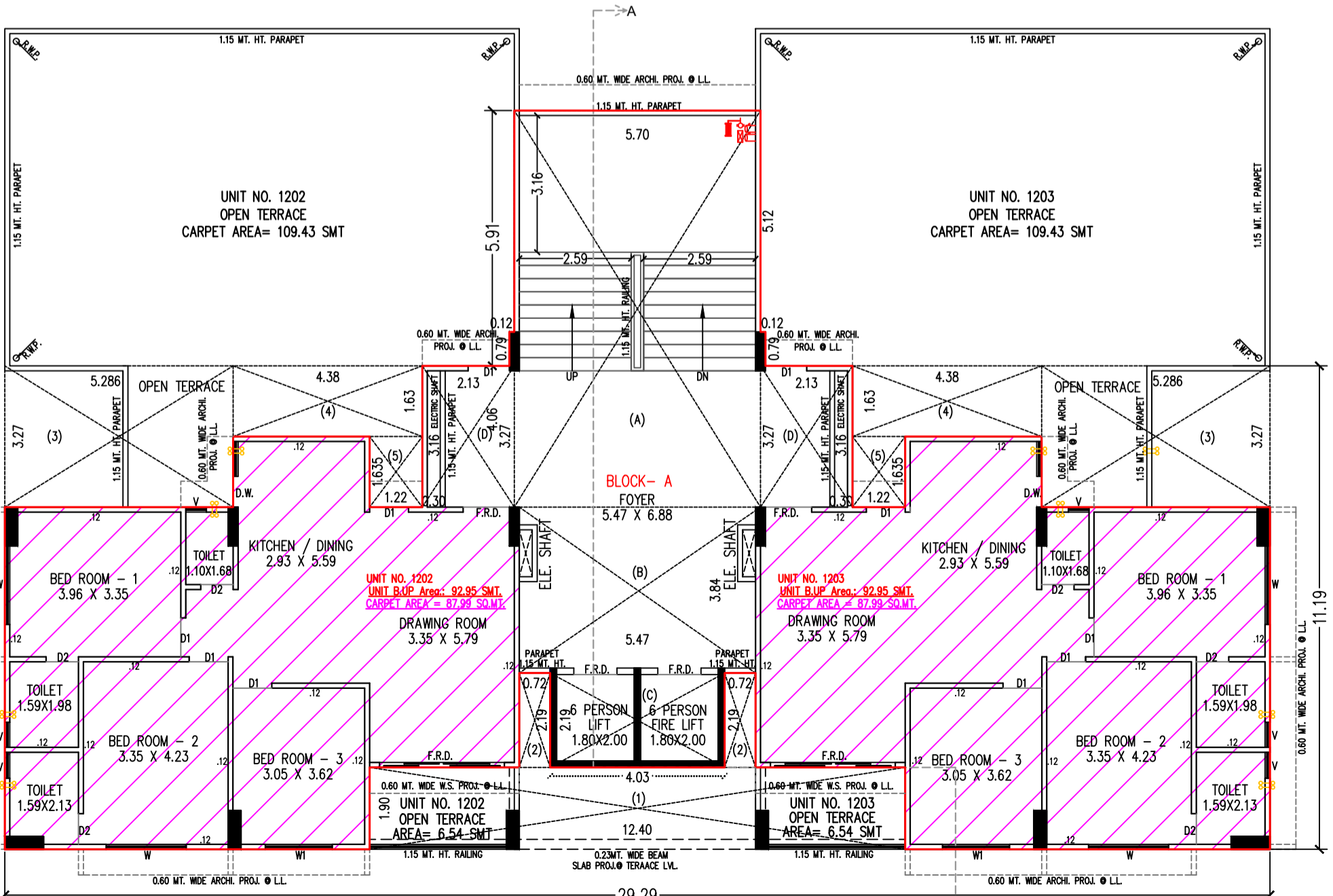
1ST. BASEMENT PLAN  
SCALE : 1 C.M.= 2 MT.



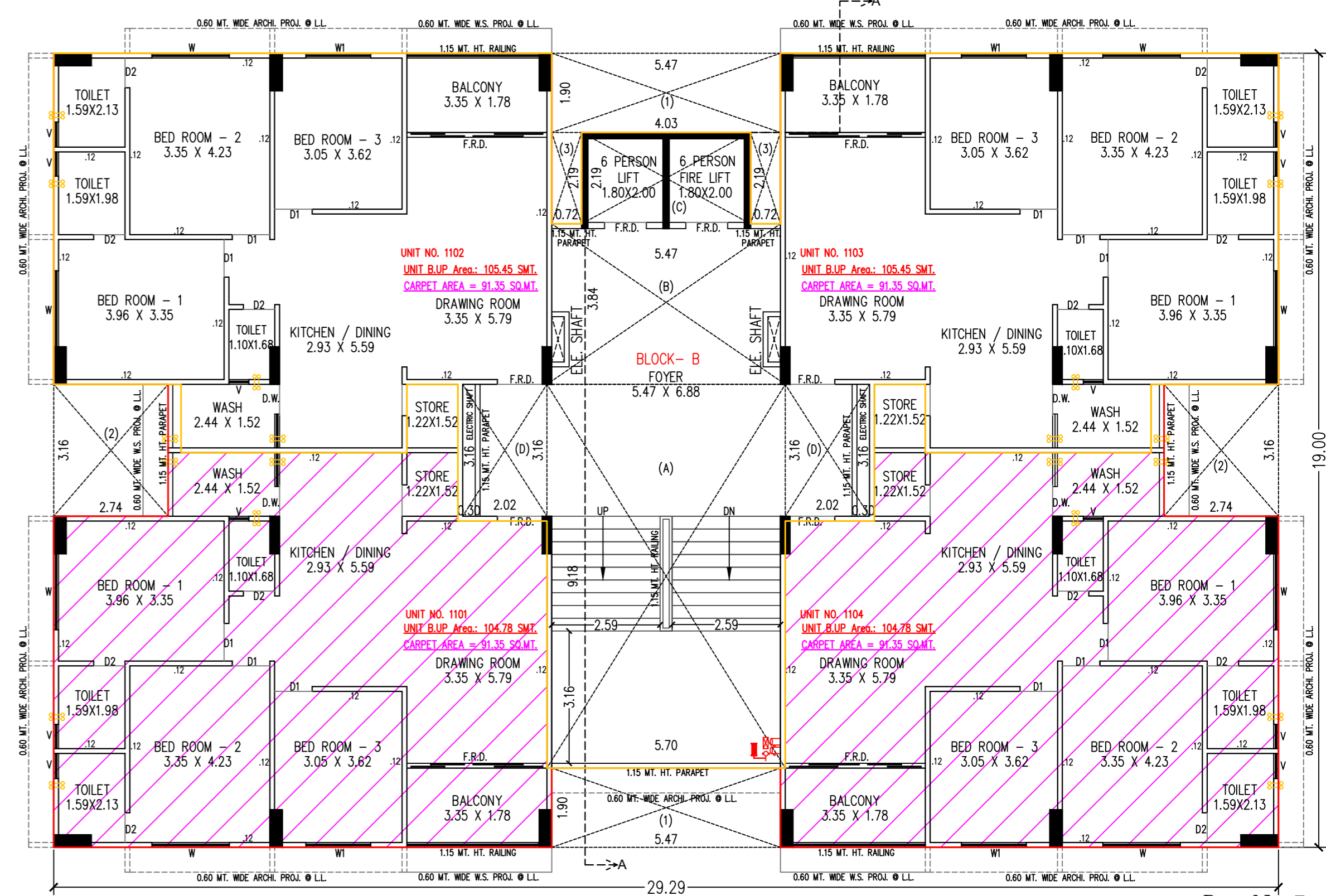
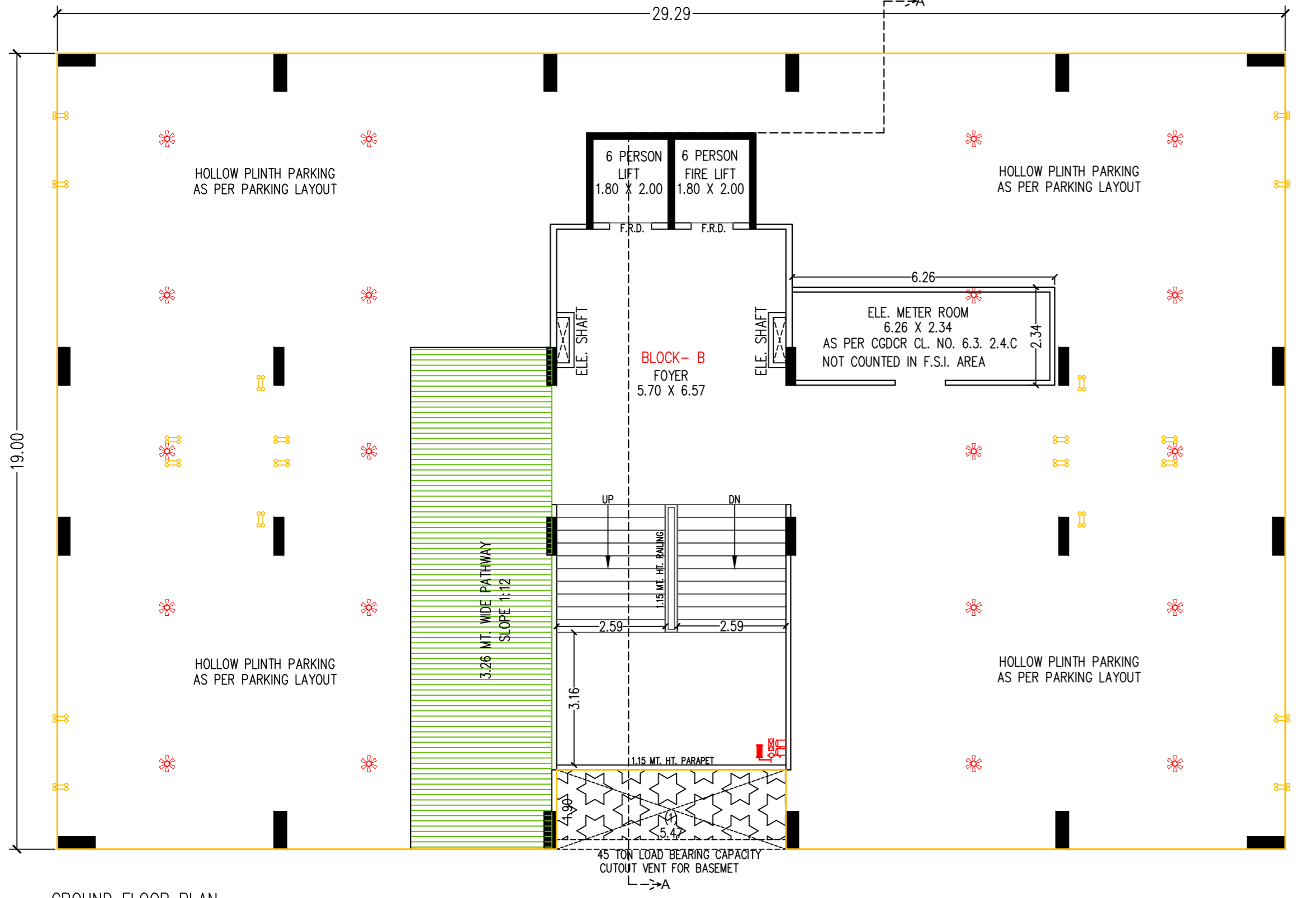
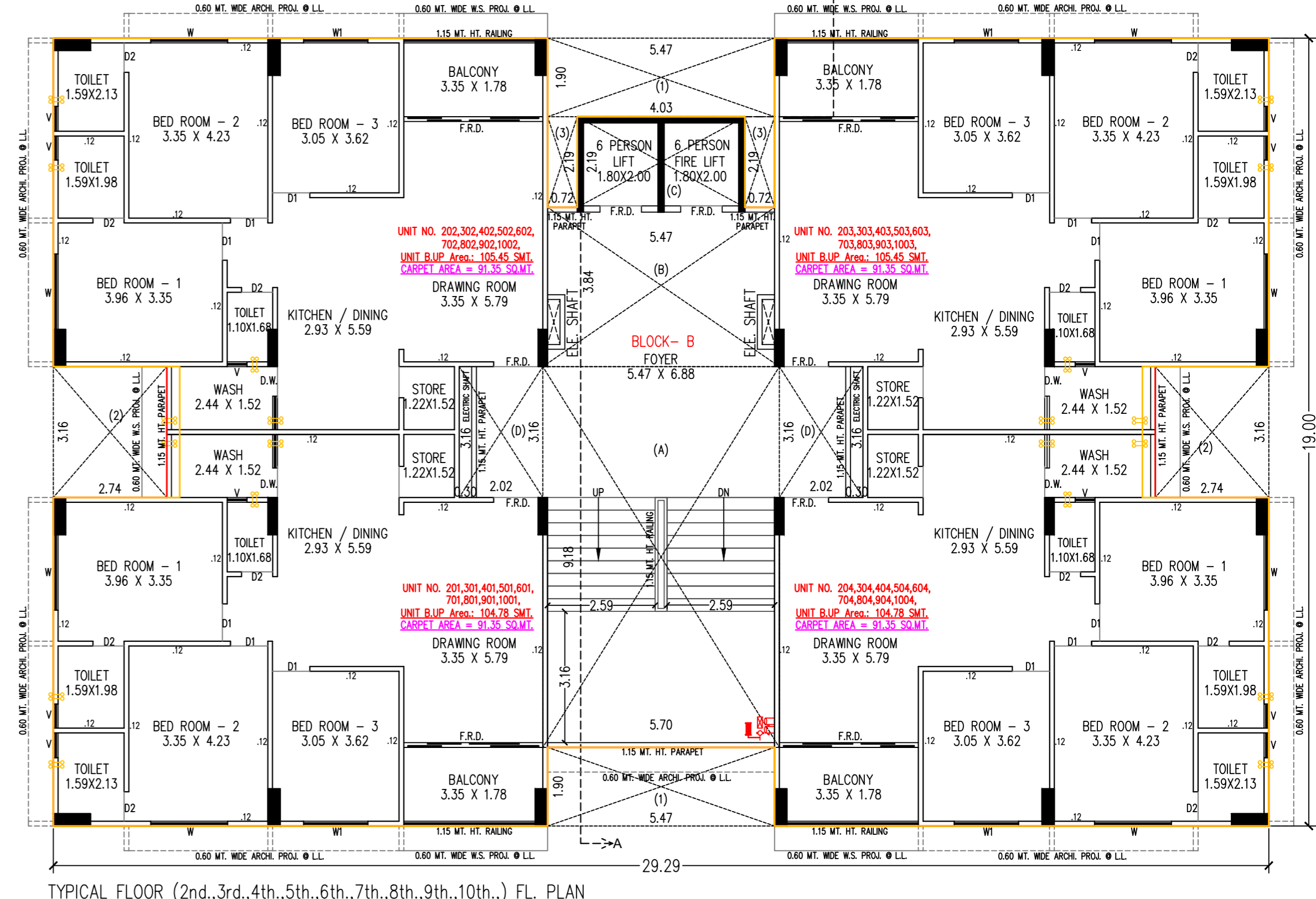
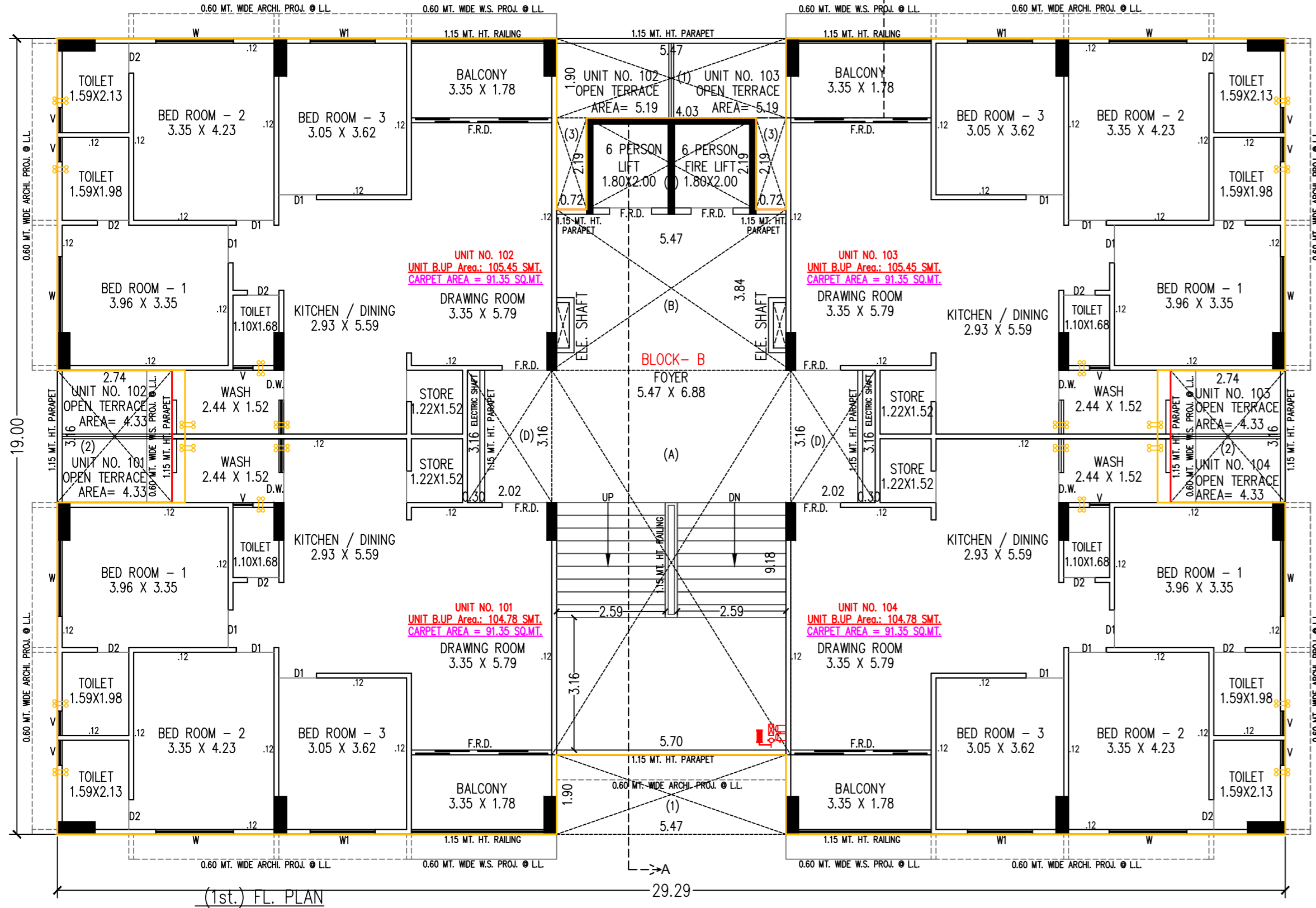


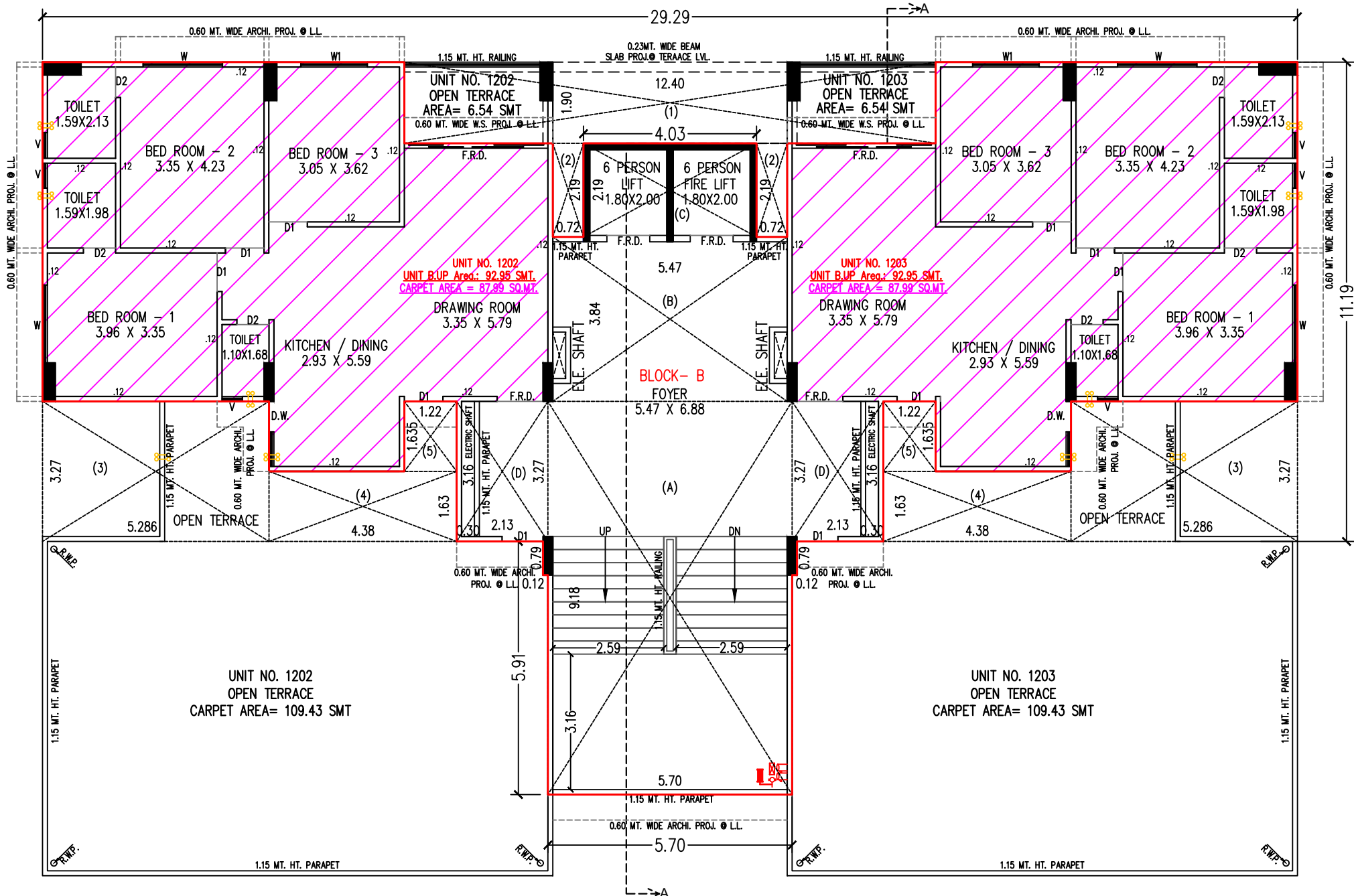
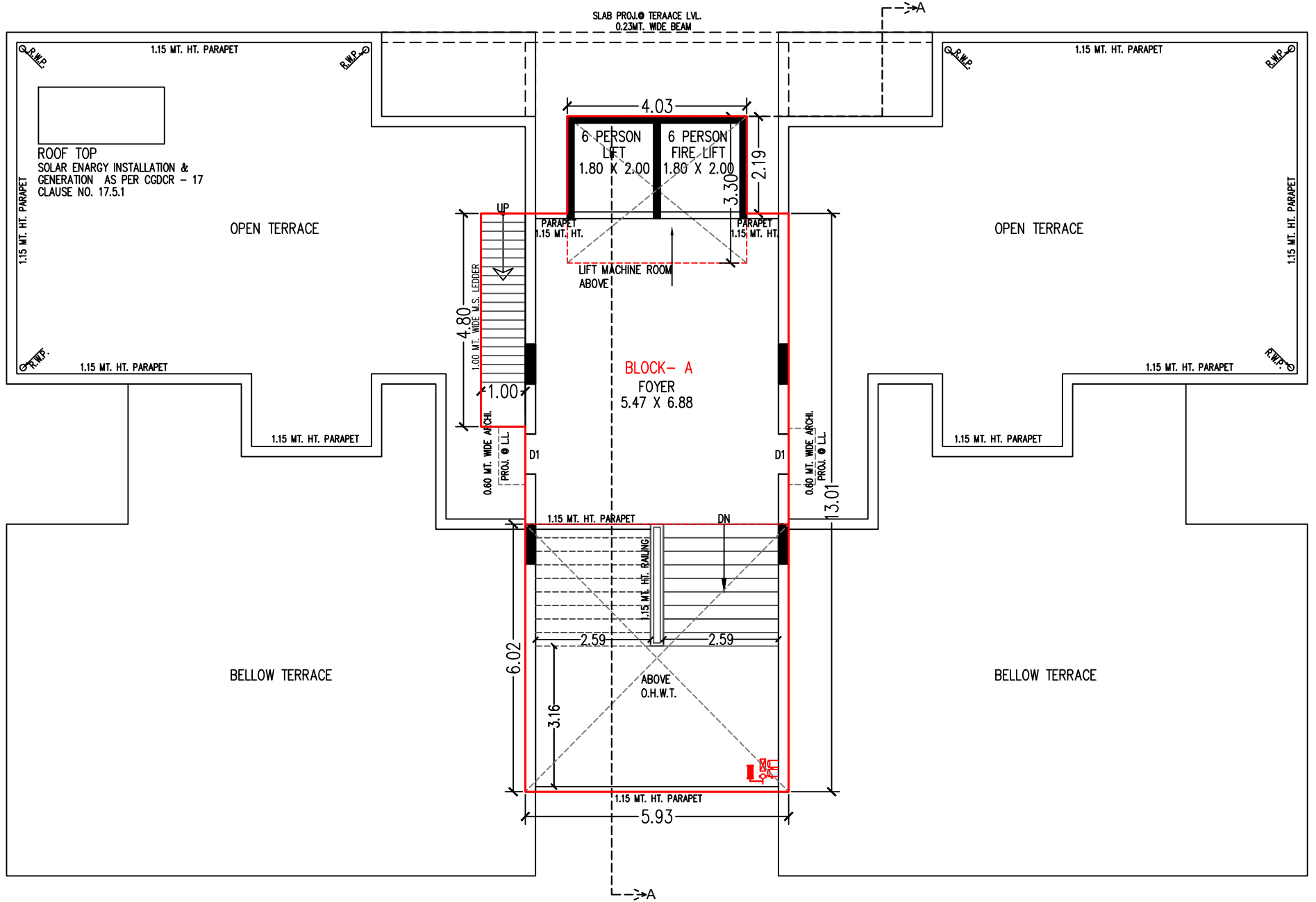


TERRACE FL. PLAN



(12th.) FL. PLAN







# SPECIFICATIONS



## FLOORING

Branded Vitrified tiles for entire flooring in all apartments.



## WALL FINISH / ELEVATION

Internal mala plaster with white finish putty. Attractive external elevation with double coat sand faced plaster with acrylic paints.



## DOORS & WINDOWS

Decorative main door & other flush doors with wooden/granite frame. All windows in aluminum section with granite frame.



## KITCHEN

Polished granite platform with S.S. sink, Designer glazed tiles up to lintel level.



## ELECTRIFICATION

Branded ISI modular switches with concealed Branded wiring and adequate number of points. MCB distribution panel.



## PLUMBING

ISI CPVC and UPVC pipes for water supply, PVC & SWR pipes for solid waste and drainage systems. Percolation recharge wells as per the norms. Branded CP fittings.



## TOILET

Branded Designer tiles on floor and walls up to lintel level. Branded sanitary & bath fittings.



## TERRACE

Brick-bat concrete with china mosaic for heat reflection and thermal insulation.



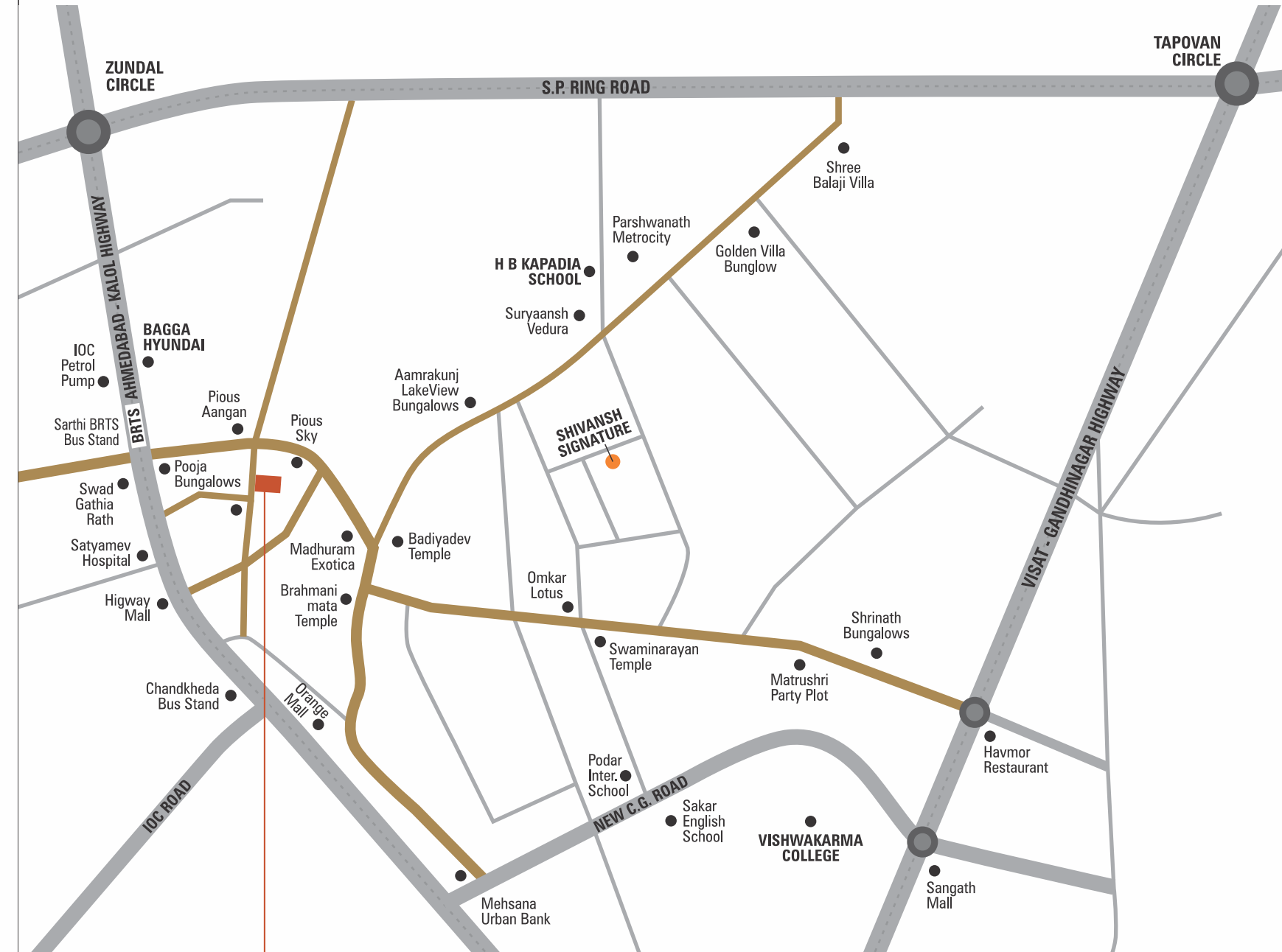
## LIFT

2 premium quality lifts in each block.

**NOTE :** • GEB, AMC, Maintenance Charges & all other Govt. taxes to be borne by the members. • This Brochure is just a representation of the project. • The dimension shown in the brochure are as per area approximately. • Irregular Payment will automatically ensure cancellation of the booking. • If the member desires to make internal modification of any kind in the planning of each unit, such changes will only be done with the express permission of the developers. • The developer reserves all rights to change or to make any modifications. • Subject to Ahmedabad Jurisdiction • Payments in favour of " **RUDRA DEVELOPERS** "

RERA REG. NO. : PR/GJ/AHMEDABAD/AHMEDABAD CITY/AUDA/RAA10305/100622  
Website : [www.gujrerar1.gujarat.gov.in](http://www.gujrerar1.gujarat.gov.in)

# LOCATION



SCAN FOR LOCATION



SCAN FOR E-BROCHURE



Site Address :  
Nr. Parmeshwar Merriment, B/h. Nandanvan Bunglows,  
TP 75, Chandkheda, Ahmedabad.

Contact : +91 78610 31373

DEVELOPERS  
**RUDRA**  
DEVELOPERS

A Project By

**RUDRA**  
DEVELOPERS

Architect

Dhaval Mevada

Structure Eng

Hardik P  
Upadhyay

Site Address :  
Nr. Parmeshwar Merriment,  
B/h Nandanvan Bunglows,  
TP 75, Chandkheda, Ahmedabad.

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