



2 & 3 BHK lifestyle apartment

The Parkside

2 & 3 BHK lifestyle apartment

What do you wish the most...?

A Secret desire to enjoy the **lavishness** in its true sense...

A **modern architecture**

A **dream home**

A **blissful ambience**

A **joyful amenities**

All that your heart wished is about to be fulfilled with The Parkside. Let these 2 & 3 BHK lifestyle apartment be the answer to your every deepest wish and desire. The set of elegant adobes elevating both in status and style take you to the flight of eminence and eternal happiness.





The Park Side

You wished for
**modern
architecture**

At The Parkside, beyond the stunning first impression
lies an equally rich and gratifying living experience.



You wished for
a dream home

These homes are designed with love, dedication and careful attention to detail, ensuring a new, refined and blissful living experience. It doesn't get any bigger better than The Parkside.



Security



Entrance Gate



Parking



Compound Wall



Sitting
Area



Children
Play area



Lush
Garden



Club
House





You wished for
blissful ambience

Open the window of mind. Allow the fresh air new lights
and new truths enter. Mediating lights and soothing
colours invites peace everywhere.

GROUND floor Layout plan



60' WIDE ROAD

TYPICAL floor Layout plan



60' WIDE ROAD

3
BHK

Block A
Unit No.:
104

Block B
Unit No.:
101



3
BHK

Block A
Unit No.:
101

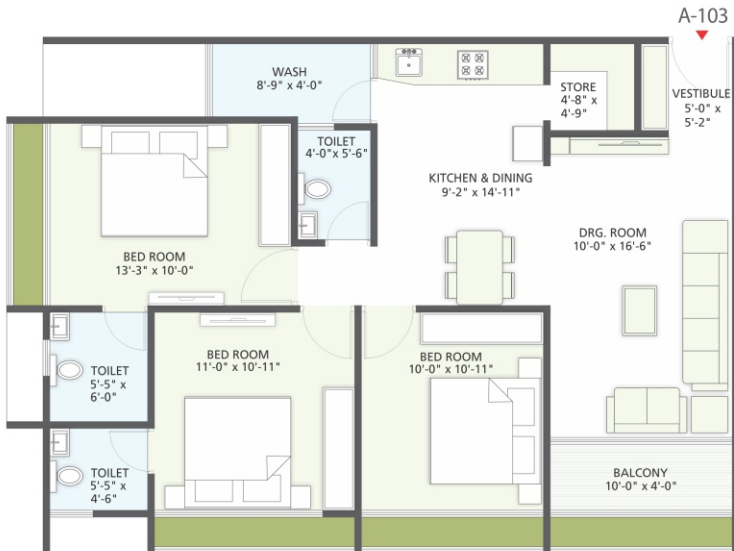
Block B
Unit No.:
104



3
BHK

Block A
Unit No.:
103

Block B
Unit No.:
102



3
BHK

Block A
Unit No.:
102

Block B
Unit No.:
103



2
BHK

Block C & D
Unit No.:
101 to 104



2
BHK

Block E, F & G
Unit No.:
101 to 104





CLUB HOUSE



UNISEX GYM



INDOOR GAMES



LIBRARY



SOCIETY OFFICE

LUXURIOUS AMENITIES



LANDSCAPED GARDEN

Landscape has party lawn for enjoying various celebration, which includes:

- Gazebo
- Walking path
- Floral area
- Women sitting
- Children play area
- Senior citizen sitting

CAMPUS FEATURES



ENTRANCE GATE

- Elegant entrance gate on 18 mtr. wide T.P. road.
- Security Cabin
- Well designed project name plate.



COMPOUND WALL

- Compound wall around the campus with provision of light points.



LIFT

- Two automatic elevators
- Intercom in lift cabin
- Lift with M.S. / S.S. cabin



WATER TANK

- Underground & Overhead water tank in each building



ROAD

- Well finished paver block / R.C.C road



WELCOMING AREA

- C.C.T.V camera with 24 hrs. recording system for residents safety.

UNIT SPECIFICATION

STRUCTURE

- Earthquake resistant R.C.C frame work with brick masonry wall.

FLOORING

- Vitrified tiles in all rooms.

KITCHEN

- Granite platform
- Colour glazed tiles up to lintel level.

TOILET

- Coloured glazed tiles dedo in all toilets up to lintel level.

PLUMBING

- I.S.I brand CPVC & UPVC plumbing & drainage piping.

WALL FINISH

- Internal smooth plaster with white putty.
- External sand faced plaster with paint.

WINDOW

- Anodized/Powder coated aluminium section

DOOR

- Decorative main door frame with good quality wooden frame with handle and safety lock
- All other doors are good quality engineered flush door.

ELECTRIFICATION

- Concealed copper wiring
- Electric points for A.C.
- Electric points for T.V in hall
- Electric points for water purifier

TERRACE

- Open terrace finished with suitable water proofing & China mosaic for heat reflection.

DISCLAIMER

- Internal charges shall be allowed with prior permission and shall be charged extra.
 - GEB, Legal, AUDA, GST and other government charges levied from time of shall be borne by the member at the time of possession as per prevailing rates.
 - Maintenance deposit shall be borne by the purchaser and shall be paid at the time of possession. Stamp duty and registration fee will be borne by the purchaser.
 - In the interest of continuous development in design and quality of construction the developer reserves all the right to make in scheme including specification design, planning, layout and purchaser shall abide by such charges.
 - Purchaser are strictly not permitted to make any changes alteration of any nature in the elevation exterior color of the scheme, changes affecting the overall design, concept and outlook of the entire scheme during or after completion of scheme.
 - This brochure is only to convey the essential design and technical features of the scheme and does not any part of the legal documents.
- Subject to Gandhinagar Jurisdiction.



Site Address:

SR No. 300, Opp. The Riverside, Near Lubi Electronics, S.P.Ring Road,
Nana Chiloda, Gandhinagar-382 330



Developers:
Shreenath Infraspace

Site Address:
SR No. 300, Opp. The Riverside, Near Lubi Electronics,
S.P.Ring Road, Nana Chiloda, Gandhinagar-382 330

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